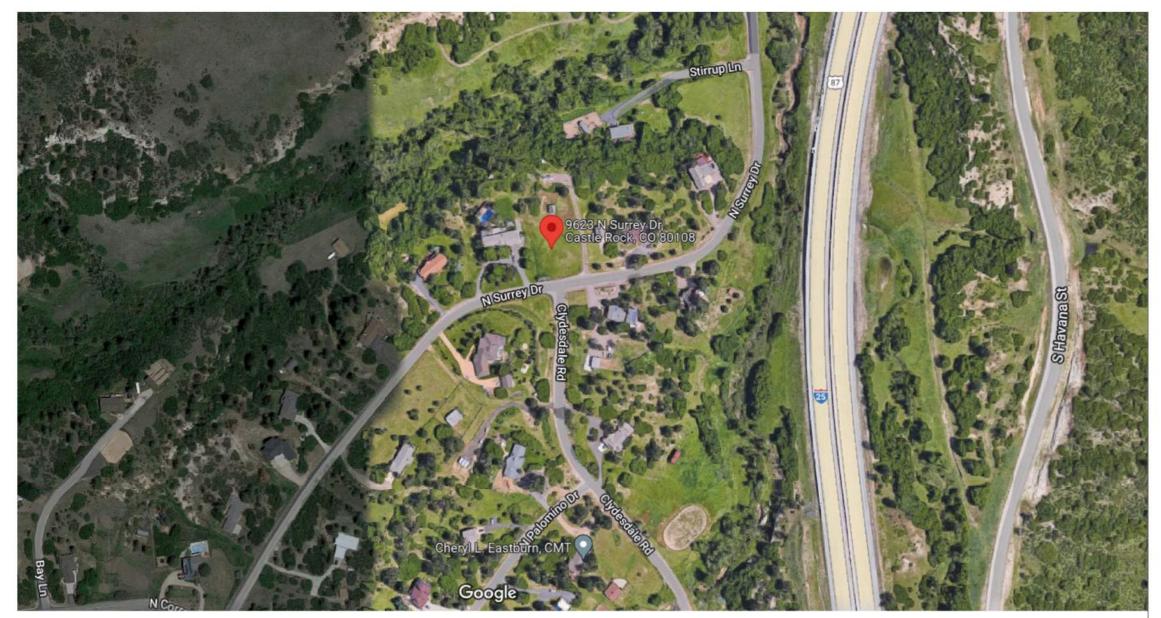


CHAMBERS RESIDENCE

ADDITION



VICINTY MAP EXISTING PRIMARY STRUCTURE



ARCHITECTURAL SYMBOLS LEGEND REFERENCE WALL SECTION REFERENCE **DETAIL ELEVATION** REFERENCE INTERIOR ELEVATION REFERENCE EXTERIOR ELEVATION REFERENCE **DETAIL CALLOUT** DIMENSION LINE CENTERLINE **ELEVATION LABEL** WINDOW TAG SPOT ELEVATION DOOR TAG **ROOM TAG** 9'-0" CLG. VIEW REFERENCE # / X-### KEYNOTE AND LEADER-REVISION CLOUD AND TAG NORTH ARROW SCALE: 1/4" = 1'-0"

GENERAL NOTES

THE DESIGNER HAS BEEN CONTRACTED TO PROVIDE LIMITED SERVICES. IN REGARDS TO THE CONTRACT DOCUMENTS, THE DESIGNER WILL PREPARE THIS SET OF PERMIT DRAWINGS ONLY AND FOR THE PURPOSE OF DESIGN INTENT. ALL OTHER COMPONENTS OF THE CONTRACT DOCUMENTS ARE BY THE BUILDER OR THE BUILDERS CONSULTANTS, INCLUDING:

A. STRUCTURAL, MECHANICAL, CIVIL AND ALL OTHER

TYPES OF ENGINEERING SERVICES B. FINISHES & FIXTURE SELECTION

C. PROJECT SPECIFICATIONS

D. SOILS TEST & ENVIRONMENTAL REPORTS E. SITE SURVEYS AND PLOT PLANS

THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE OWNER'S SELECTION OF ANY SPECIFIC PRODUCT, MANUFACTURER, OR METHOD OF INSTALLATION NOT DOCUMENTED IN THE CONSTRUCTION DOCUMENTS. THE DESIGNER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUSTIONS AND PROGRAMS IN CONNECTION WITH THE

CONSTRUCTION PHASE SERVICES:

THE DESIGNER IS NOT CONTRACTED FOR CONSTRUCTION PHASE SERVICES

A. REVIEW OF SHOP DRAWING AND PRODUCT SUBMITTALS B. ADMINISTRATION OF THE CONSTRUCTION CONTRACT INCLUDING PAYMENT

CLARIFICATIONS & RFI'S:

IN THE EVENT THAT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE OWNER / BUILDER, CONTRACTOR OR SUBCONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, THEY SHALL IMMEDIATELY NOTIFY THE DESIGNER. FAILURE TO GIVE A SIMPLE NOTICE SHALL RELIEVE THE DESIGNER OF RESPONSIBILITY FOR THE CONSEQUENCES. ANY DISCREPANCY OR AMBIGUITY DISCOVERD BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE DESIGNER ARE UNAUTHORIZED AND SHALL RELIEVE THE DESIGNER OF RESPONSIBILTY FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES.

PROJECT TO BE BUILT FROM "CONSTRUCTION ISSUE" SET OF DRAWINGS

ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. DIMENSIONS TAKE PRECEDENCE OVER DRAWING - DO NOT SCALE!

VERIFY EQUIPMENT ROUGH-IN DIMENSIONS WITH MANUFACTURER FOR EQUIPMENT THAT IS FURNISHED BY OWNER.

CODES AND REFERENCE STANDARDS: CURRENTLY ADOPTED CODES:

- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION - INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION - 2018 INTERNATIONAL FUEL GAS CODE

- 2020 NATIONAL ELECTRIC CODE - DOUGLAS COUNTY CODE CHANGES AND AMENDMENTS

AS DETAILED IN IRC CHAPTER 44 AND AS SPECIFIED IN SECTION R102.4, NUMEROUS REQUIREMENTS FOR PRODUCTS AND INSTALLATION METHODS ARE SPECIFIED BY THE IRC. WHEN NOT SPECIFIED BY THE PERMIT DRAWINGS, IT IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR AND ALL SUBCONTRACTORS TO VERIFY COMPLIANCE WITH THESE REFERENCED STANDARDS. THE BUILDER / CONTRACTOR AND/OR THE SUBCONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER IF ANY PORTION OF THE DRAWINGS CONTRADICT THE REFERENCED STANDARDS.

MANUFACTERER'S INSTRUCTIONS AND RECOMMENDATIONS:

THE BUILDER / CONTRACTOR AND/OR THE SUBCONTRACTORS SHALL FOLLOW ALL MFG. INSTRUCTIONS AND RECOMMENDATIONS. IF ANY PORTION OF THE DRAWINGS CONTRADICT THE MANUFACTURER'S INSTRUCTIONS, THE BUILDER / CONTRACTOR AND/OR THE SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE

PROVIDE SITE PREPARATION AS SPECIFIED BY THE SOILS ENGINEER REPORT INCLUDING A FOUNDATION DRAINAGE SYSTEM AS REQUIRED

PROVIDE A MINIMUM CLEARANCE OF 6" FROM ALL EXTERIOR WALL COVERINGS (EXCEPT 4" FOR MASONRY VENEER) TO THE TOP OF GRADE.

PROVIDE A MINIMUM CLEARANCE OF 8" FROM THE NON-TREATED BASE OF WOOD

FRAMING TO THE TOP OF ADJACENT GRADE. SLOPE GRADE PER THE SOILS REPORT OR A MINIMUM 10% AWAY FROM THE

STRUCTURE FOR THE FIRST 10 FEET DISTANCE. IMPERVIOUS SURFACES MAY BE SLOPED A MINIMUM 2.5% AWAY FROM THE STRUCTURE FOR THE FIRST 10. GALVANIZED DOWNSPOUTS TO HAVE 5'-0", ADJ. EXTENDERS (TYPICAL), OR PER

GUARDRAILS - SHALL BE LOCATED ALONG ALL OPEN-SIDED WALKING SURFACES INCLUDING STAIRS, RAMPS AND LANDINGS (INCLUDING PATIOS) THAT ARE

LOCATED MORE THAN 30" HIGH TO ANY POINT WITHIN 36" HORIZONTAL TO THE EDGE OF THE OPEN SIDE. A. GUARDS SHALL BE NOT LESS THAN 36" HIGH. EXCEPTION: WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAILON

THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE LESS THAN 34" AND NOT MORE THAN 38: H. B. INTERMEDIATE BALUSTERS/RAILS SHALL BE CONSTRUCTED SUCH THAT A

SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.

CONCRETE & MASONRY (AS REQUIRED)

FOUNDATION DESIGN AND SOILS REPORT BY COLORADO REGISTERED ENGINEER AND PER CHAPTER 4, 2015 IRC. ENGINEER SHALL BE ON HAND AT TIME OF

PER R506, PROVIDE A MIN. 4" BASE COURSE OF SAND, GRAVEL, CRUSHED STONE OR CRUSHED BLAST-FURNACE SLAG UNDER CONCRETE FLOORS ON GROUND WITH A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" AND PLACED BETWEEN THE BASE COURSE AND THE

PROVIDE FIREBLOCKING IN COMBUSTIBLE CONTRUCTION TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERT. AND HORZ.) AT THE FOLLOWING LOCATIONS PER TABLE R302.191): 1. IN WALLS VERTICALLY AT THE CEILING AND FLOOR LEVELS.

2. IN WALLS HORIZONTALLS AT INTERVALS NOT EXCEEDING 10 FEET. 3. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.

4. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM 5. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVELS.

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR / CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 S.F. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ADOVE AND A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

1. CEILING IS SUSPENDED UNDER THE FLOOR RFRAMING 2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS TYPE OPEN WEB OR PERFORATED MEMBERS.

PROVIDE DAMPPROOFING OR WATERPROOFING OF ALL FOUNDATIONS PER SOILS REPORT AND/OR SEC. R406

CLASS I OR II VAPOR RETARDERS ARE REQUIRED ON THE INTERIOR SIDE OF FRAME WALLS IN ZONE 5. THE FOLLOWING SHALL BE DEEMED TO MEET THE

CLASS I SHEELT POLYETHYLENE, UNPERFORATED ALUMINUM FOIL CLASS II: KRAFT-FACE FIBERGLASS BATTS.

WALL FLASHING PER R703

APPROVED CORROSION-RESISTENT FLASHING SHALL BE APPLIED IN A MANNER TO PREVENT ENTRY OF WATER IN THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTENT FLASHING SHALL BE INSTALLED AT ALL OF THE **FOLLOWING LOCATIONS:**

1. EXTERIOR WINDOW/DOOR OPENINGS 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUTION W/

FRAME OR STUCCO WALLS, W. PROJECTING LIPS OF BOTH SIDES UNDER SUCCO 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD OR HARDBOARD / FIBER-

5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION 6. AT WALL AND ROOF INTERSECTIONS 7. AT BUILT-IN GUTTERS

FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS 1. WALL AND ROOF INTERSECTIONS

2. WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTON 3. AROUND ROOF OPENINGS

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION/CONTRACTION. REFER TO ARAPAHOE

WHERE NECESSARY, OR AS DIRECTED BY CONTRACTOR, PROVIDE EXTRUDED POLYSTYRENE IN LIEU OF BATT INSULATION, BEHIND, BENEATH, OR ADJACENT TO PLUMBING, MECHANICAL, AND ELECTRICAL SUPPLIES, RETURNS, AND OTHER DISTRIBUTED LINES AND FIXTURES TO ENSURE THE MINIMUM INSULATION VALUES ARE STRICTLY ADHERED TO IN ALL LOCATIONS. IN ALL INACCESSIBLE OR ENCLOSED AREAS OR AREAS THAT MAY BE INACCESSIBLE OR MAY BE ENCLOSED. PLACE EXTRUDED POLYSTYRENE INSULATOIN IMMEDIATELY PRIOR TO PLACING THE PLUMBING, MECHANICAL, AND ELECTRICAL RUNS.

INSULATE ALL CANTILEVERED FLOORS WITH BATT INSULATION OR PER HERS REPORT, SUFFICIENT TO FILL THE FRAAMING CAVITY AND PROVIDE CLASS I OR CLASS II VAPORT RETARDERS ON THE INTERIOR SIDE OF FRAME, RE: 2012 IRC

INSULATION VALUES:
PER PROJECT HERS REPORT OR EQUAL: CLIMATE ZONE 5B

EXT. WOOD FRAMED WALLS: CEILINGS UNDER UNCOND. SPACE: R-38 FLOOR OVER UNCOND. SPACE: EXTERIOR BASEMENT WALLS: R-10/13 R-10, 2 FT FENESTRATION U-FACTOR: SKYLIGHT U-FACTOR: U-0.60

ALL WINDOWS ARE TO BE WEATHER-STRIPPED AND DOUBLE GLAZED. FRAME

MATERIAL PER BUILDER. PROVIDE TEMPERED FLASS PER 2015 IRC SEC. R308.4 WHEN:

A. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR CLOSED POSITION & WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE

FLOOR/WALKING SURFACE C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANE THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

1. EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE

2. BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FLOOR.

3. TOP EDGEOF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR 4. ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRIGHT LIINE OF THE GLAZING.

D. ALL GLAZING IN RAILNGS REGARDLESS OF AREA/HEIGHT ABOVE A WALKING SURFACE . INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL INFILL PANELS.

E. WITH ANY COMPARTMENT CONTAINING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS/SHOWERS WHOSE BOTTOM EDGE OF GLAZING IS LESS THAN 60" A.F.F. F. GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36"

HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ADOVE THE PLANE OF THE ADJACENT WALKING G. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM

TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LES THAN 60" ABOVE THE NOSE OF THE TREAD H. GLAZING IN WALLS/FENCES ADJACENT TO INDOOR / OUTDOOR SWIMMING POOLS, HOT TUBS, SPAS, WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE WATER'S

IN BATHROOMS CONTAINING A BATHTUB OR SHOWER OR COMBINATION, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS THAT THEREOF, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS THAT DO NOT HAVE ACCESS TO NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM CONNECTS DIRECTLY TO THE OUTSIDE IS TO BE PROVIDED PER 2015 IRC

ALARM & SUPPRESSION SYSTEMS:

AN AUTOMATIC FIRE SPRINKLER SYSTEM PER 2015 IRC SEC. R313 IS REQUIRED TO BE INSTALLED PER LOCAL CODE AMENDMENTS

SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, AND THE PROVSISIONS OF NFPA 72 (HOUSEHOLD FIRE WARNING EQUIPMENT) AND THE PROVIIONS PER IRC 2015 SEC. 314. LINK THE AUDIO SIGNAL TO ALL UNITS. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDNACE WITH UL

CARBON MONOXIDE DETECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH ANUFACTURER'S INSTRUCTIONS, AND THE PROVISIONS OF NEPA 720 AND THE PROVISIONS PER 2015 IRC SECTION 315. LINK AUDIO SYSTEM WITH ALL UNITS. ALL CARBON MONOXIDE DETECTORS SHALL BE LISTE IN ACCORDANCE WITH UL 217.

RADON MITIGATION SYSTEMS: APPENDIX F - RADON CONTROL METHODS:

A RADON CONTROL SYSTEM PER 2016 IRC APPENDIX F IS REQUIRED TO BE INSTALLED.

RADON CONTROL METHOD IS TO BE VERIFIED AND INSTALLED BY RADON

Project Information



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Issuance 12.20.2022

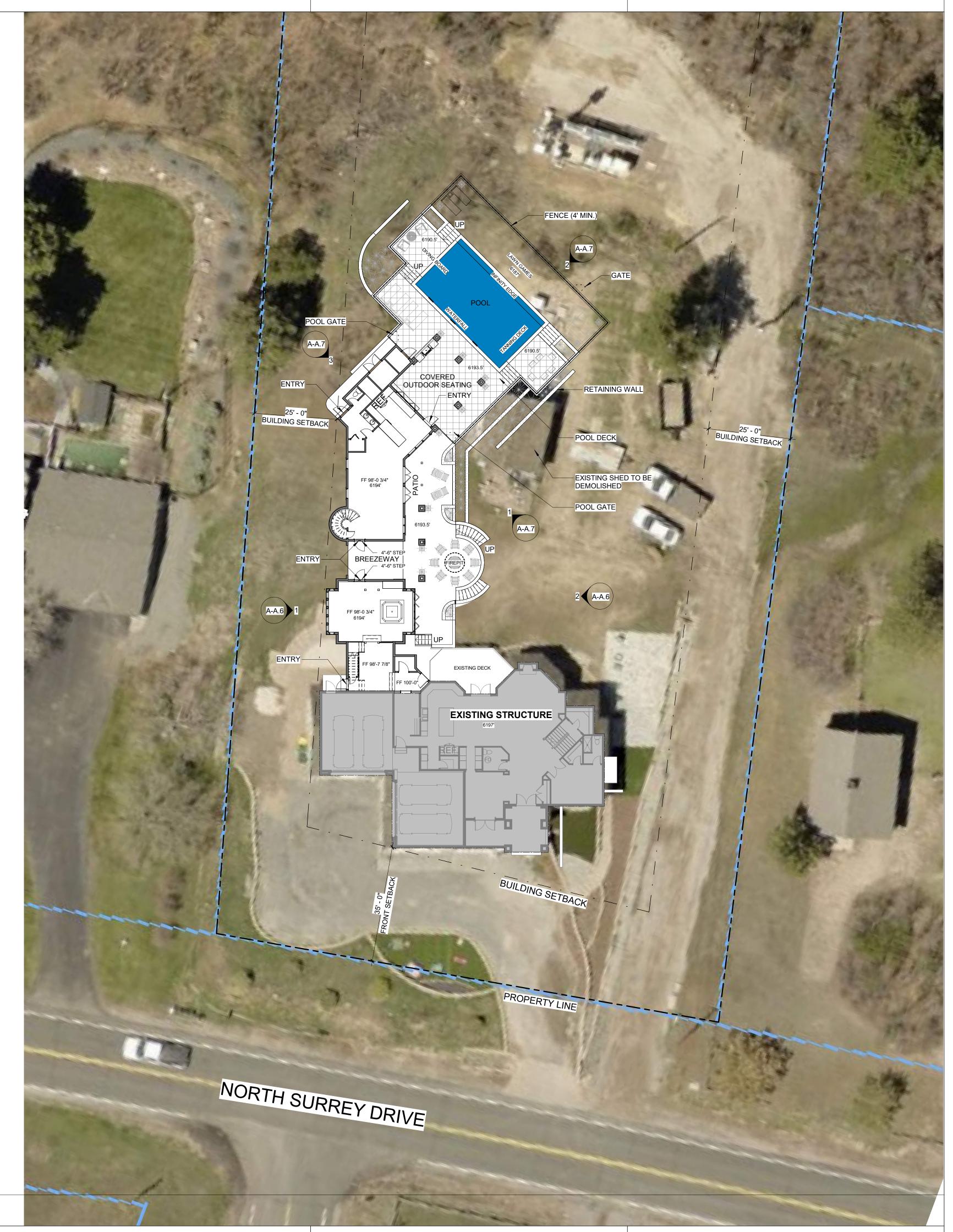
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Sheet Information

Sheet Title:

Sheet Number:

SMD Project:





Project Information



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12.20.2022 HOA

Date No.

Sheet Information

Sheet Title:

SITE PLAN

Sheet Number:

2022.02

SMD Project:

PROPERTY SITE PLAN

1/16" = 1'-0"





2 EAST ELEVATION

1/4" = 1'-0"

WEST ELEVATION

1/4" = 1'-0"

Project Information

ADDITION
9623 N Surrey Dr.



Stam

ELEVATION KEYNOTES

SELECTED BY BUILDER E03 1X10 FASCIA BOARD, TYP

COORDINATE

E01 CONCRETE ROOF TILE TO MATCH EXISTING

E04 1X4 SHINGLE MOULD AT RAKE, TYP E05 VENT ALL ROOFS PER CODE, BUILDER TO

E02 STANDING SEAM METAL ROOF SYSTEM

E06 R.S. 4X8 CORBELS TO MATCH EXISTING E07 R.S. 6X12 BEAM TAILS TO MATCH EXISTING



HOA 12.20.2022

Revisions Date No.

Sheet Information

Sheet Title:

BUILDING ELEVATIONS

Sheet Number:

A-A.6

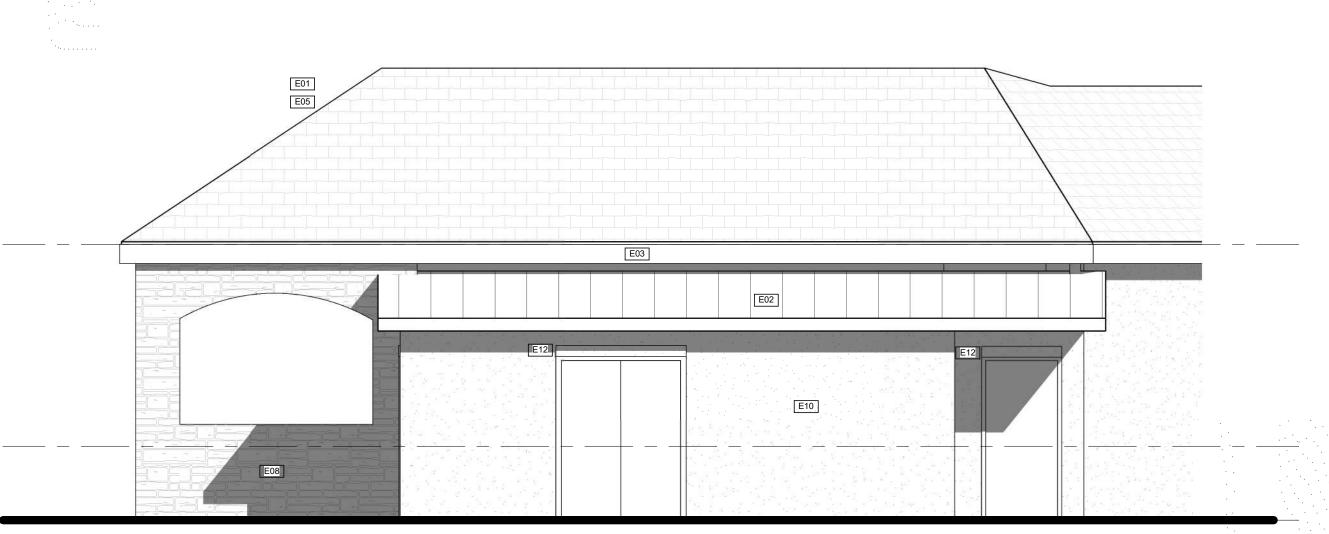
SMD Project:



1 SOUTHEAST ELEVATION 1/4" = 1'-0"



2 NORTHWEST ELEVATION 1/4" = 1'-0"



3 SOUTHWEST ELEVATION

1/4" = 1'-0"

ELEVATION NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION NOT SHOWN OF NOTED ON PLANS.

- REFER TO BUILDING SECTION FOR ADDITIONAL WALL, PLATE HEIGHTS AND NOTES.

- GUTTER AND DOWNSPOUTS ARE TO BE FIELD VERIFIED FOR LOCATION BY BUILDER.

- PROVIDE FLASHING OVER TOP EDGE OF R.S. WOOD

ELEVATION KEYNOTES

SELECTED BY BUILDER E03 1X10 FASCIA BOARD, TYP

E12 1X6 RAISED STUCCO TRIM, TYP

E13 STUCCO WINDOW SILL, 8" TYP. E14 METAL DECK AT BALCONY

COORDINATE

E01 CONCRETE ROOF TILE TO MATCH EXISTING

E04 1X4 SHINGLE MOULD AT RAKE, TYP E05 VENT ALL ROOFS PER CODE, BUILDER TO

E15 BUILT UP R.S. TRIM AT BALCONY; 2X10 WITH 2X6

E18 R.S. CEDAR TRIM TO MATCH EXISTING BETWEEN

E06 R.S. 4X8 CORBELS TO MATCH EXISTING
E07 R.S. 6X12 BEAM TAILS TO MATCH EXISTING
E08 STONE VENEER SYSTEM TO MATCH EXISTING
E09 STONE WINDOW SILL TO MATCH EXISTING
E10 STUCCO SYSTEM TO MATCH EXISTING
E11 SIMULATED STONE ARCH, PROJECT OUT 1/2"

OVERLAY TO MATCH EXISTING E16 36" TUSCAN GUARDRAIL TO MATCH EXISTING

E19 PROVIDE FLASHING AT ALL DOORS AND

E20 CONCRETE ENTRY SLAB/STEPS PER GRADE

E22 STONE RETAING WALL TO MATCH EXISTING

E24 BI-FOLDING DOOR SELECTED BY BUILDER E25 WOOD TRELLIS TO MATCH EXISTING

E17 STONE CAP; SLOPED FOR DRAINAGE

DOORS AND WINDOWS

WINDOWS, TYP

E21 CONCRETE PATIO SLAB

E23 STEPS AT EXISTING DECK

E26 BAR COUNTERTOP AT SILL

E02 STANDING SEAM METAL ROOF SYSTEM

Project Information

CHAMBERS ADDITION 3623 N Surrey Dr.



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Stam



HOA 12.20.2022

Revisions Date No.

Sheet Information

Sheet Title:

BUILDING ELEVATIONS

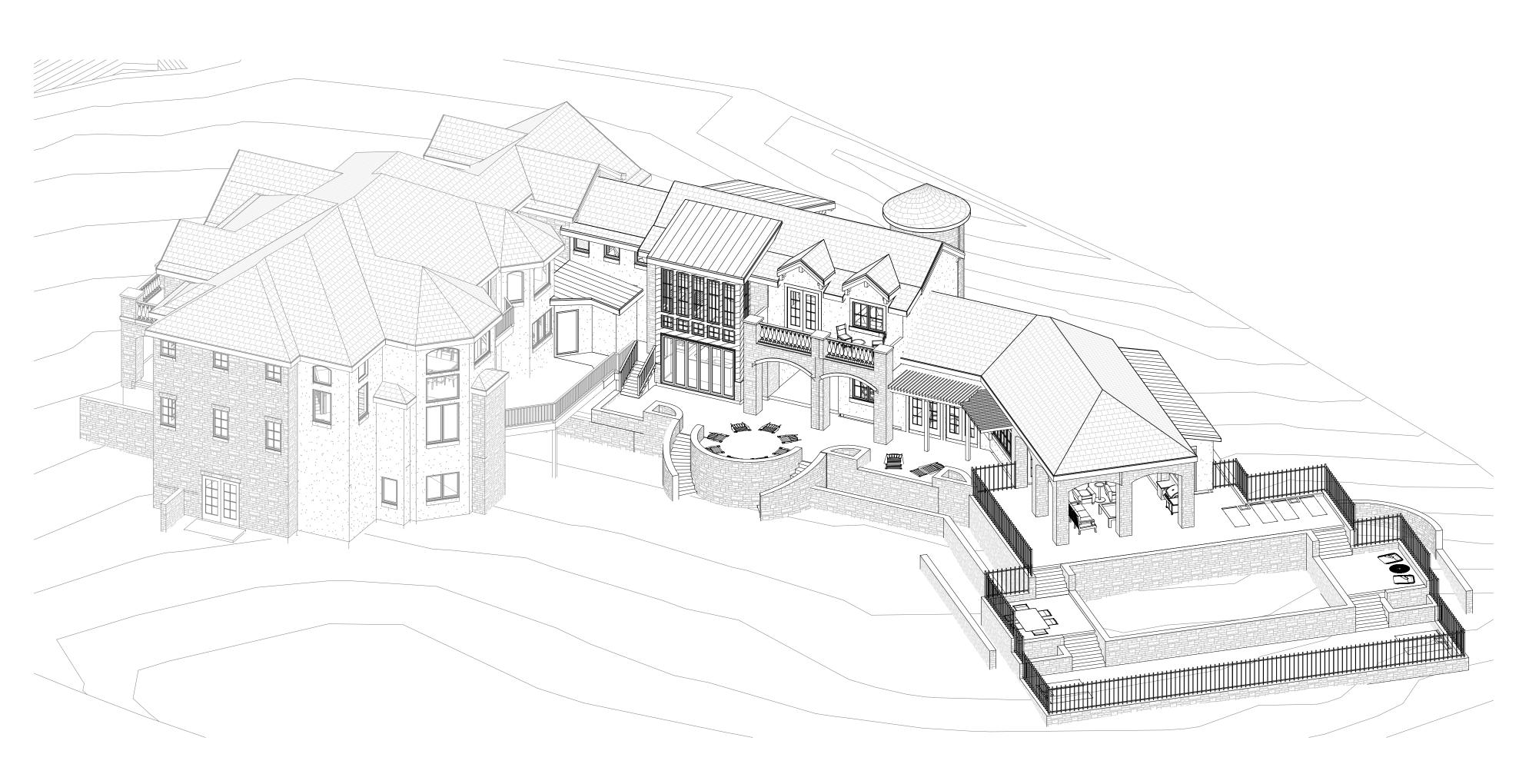
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A-A.7

SMD Project:



1 **AXON_1**



2 AXON_2



Project Information



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12.20.2022 HOA

Sheet Information

Sheet Title:

AXONS

Sheet Number:

SMD Project: